

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: March 24, 2005

ITEM NO. _____

CASE NUMBER/ PROJECT NAME **57-DR-1990#3
Scottsdale Stadium Expansion**

LOCATION 7408 E Osborn Road

REQUEST Request approval of site plan & elevations for the expansion and reconfiguration of the existing stadium and the construction of one full-size practice field and one practice infield.

OWNER City of Scottsdale
480-312-7064 ENGINEER

ARCHITECT/ DESIGNER APPLICANT/ COORDINATOR Bill Verschuren
City Scottsdale
480-312-7734

BACKGROUND **Zoning.**
The majority of the site is zoned Multiple-Family Residential District (R-5) that permits municipal uses and recreational uses with a conditional use permit. The far northeast corner of the site is zoned Central Business District (C-2). In 1990, the City Council approved a municipal master plan that includes the stadium and multi-use facility.

Context.
The existing Scottsdale Stadium is located on the northeast corner of Osborn Rd. and Drinkwater Blvd. The stadium and the vacant land east of the stadium are located within the Civic Center Master Plan. The stadium is surrounded with a variety of land uses. To the north is the Civic Center Parking garage, the Scottsdale Justice Center, and surface parking lot; all are within the Civic Center Campus. Rental apartments zoned multi-family residential; border the east property line of the site. An alley separates the residential uses from the site. To the south, beyond Osborn Rd., are commercial zoned properties consisting of offices and retail. Across Drinkwater Blvd., to the west side of the site, is the Scottsdale South Healthcare Campus consisting of the hospital, doctor offices and a parking structure.

History.
In 1955, the Maricopa County Board of Supervisors approved a site plan for a baseball park at the northeast corner of Osborn Rd. and Drinkwater Blvd. In 1960, the City of Scottsdale annexed the site. On August 7, 1990, the City Council approved a municipal use master plan for the entire Civic Center campus with case 22-UP-1990. The Development Review Board approved site

plan and elevations for a new stadium, case 57-DR-1990, on August 23, 1990.

APPLICANT'S
PROPOSAL

Applicant's Request.

The request is for site plan and elevations approval to renovate and add to the existing footprint of the Scottsdale Stadium facilities and to construct one full-sized practice field and one practice infield.

Development Information:

- Existing Use: Scottsdale Stadium and vacant land
- Parcel Size: 19.7 Acres
- Additional Square Footage: approx. 10,000 (clubhouse, team store, restrooms, and storage)

DISCUSSION

Access to the existing stadium parking lot on the south side of the site will be relocated from 75th Street to Osborn Rd. The new drive will have tree-lined sidewalks allowing pedestrians direct access to the south side entry gates from Osborn Rd. This parking lot will have secured parking for the players on the east side of the new drive and open parking on the west side of the drive. Block columns with wrought iron fencing between them, matching the existing stadium fencing system will secure the parking.

A new full size practice field with dugouts, a practice infield, and practice pitching mounds will be constructed on the approximately 4-acre vacant land on the east side of the site. To construct the fields, 75th Street will be removed from Osborn Road to a point just north of the stadium where the street will end in a cul de sac. Access to the stadium for emergency vehicles and maintenance vehicles, to the Scottsdale Justice Center, and to the existing surface parking lot will still occur off of 75th Street. In the future, the existing buildings located north of the existing surface parking lot will be replaced with more surface parking.

The new practice field is located immediately adjacent to Osborn and across the alley from the multi-family residential uses. A netting system is being proposed to minimize the escape of foul balls and home runs. This system is still being designed; sketches are included as attachments to illustrate the concept. The design intent is to keep the netting lightweight and translucent. The poles, holding up the netting, will be a maximum of 75 to 100 ft. tall. The intent is to minimize the number of poles by using a cable to secure the netting between the backstop and right field foul pole, and the right field pole and the batters eye in center field. Additionally, the practice field, with no lights, will only be used for 6 to 8 weeks a year during Spring Training, the netting system will only be up during that time. The design team is also looking at the feasibility of putting the nets up only during the times the team is practicing on the fields. The new fields will be enclosed with a combination of wrought iron between masonry columns and vinyl coated fence for security purposes.

The existing stadium was designed with a "turn of the century" southwest character. The existing materials consist of split-faced block accented with smooth face block insets in reddish and brownish colors. Other accents to the

building include ribbed metal panels at the top of the building, stucco along the arcade canopy, metal arcades, trellises, and handrails. The new additions will match the architectural character, materials, and colors of the existing stadium. The applicant will also salvage as much of the existing materials, especially the wrought iron fences and metal arcade.

The new building renovations and additions will occur on the south and east sides of the stadium. The existing player clubhouse, located underneath the stadium, will be completely renovated. An expansion of this clubhouse, on the surface level, will be built at the south side gate area between the existing parking lot and the stadium. The clubhouse areas will be connected with an underground tunnel for player access and security measures. A team store will also be rebuilt in the same area. The south gate and ticket booth, re-using the existing metal arcade, will be moved to be between the team store and new clubhouse and will line up with the new access drive into the parking lot off of Osborn Road. As previously mentioned, sidewalks along the drive will allow pedestrians easier access to the gate from Osborn Rd. An expanded sidewalk will also allow pedestrians a connection to the expanded southwest plaza and onto Drinkwater Blvd. to the west. Lastly, new restrooms for the public and players will be constructed next to the new practice field.

The southeast corner of the stadium will be completely renovated and reconfigured due to the new practice field location. These changes will not materially affect the existing playing field inside the stadium. The existing bullpen and batting cages will be shifted to the north, which will make the grass seating berm in right field shorter in length. A new concrete platform will be constructed over the batting cages and continue toward the centerfield maintenance area. The grass seating berm will be widened to expand back to the platform. Stairs and an access ramp will connect the new platform to the main concourse on the south. As the concrete platform meets the existing maintenance area, a new set of stairs and elevators will allow access to the ground level where 75th Street terminates at the cul de sac. For the first time, a new gate and ticket booth will be relocated to allow direct access and the stadium in center field. The existing trash compactors will be relocated to create a view corridor down 75th Street and make room for a new entry gate plaza. New restrooms will also be constructed on the platform level adjacent to the stairs coming up from the ground level.

The existing stadium does not provide access from the right field berm to the left field berm. A new elevated walkway will be constructed behind the batter's eye and above the center field maintenance area connecting the two grass berm areas. This will allow, for the first time, a spectator 360 degree access around the stadium. To increase the left field grass seating area, the center field scoreboard will be moved back to the top of the existing berm.

All new landscaping throughout the project will be consistent with the existing plant palette. Existing trees will be salvaged and re-used where possible. One of the main characteristics of the existing stadium is the backdrop of trees in the outfield. The new reconfiguration and renovation of right field has been

designed with this in mind. Trees will be planted in the grass berm seating area, larger trees will be planted on the ground level adjacent to the new concrete platform, and the stairs and accessible ramp going down to the main level have been designed to incorporate tree planters. The placement of all these trees will preserve the backdrop of trees that defines one of the notable characteristics of the stadium.

RELATED CASES

22-UP-90, 57-DR-90, and 57-DR-90#2.

STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

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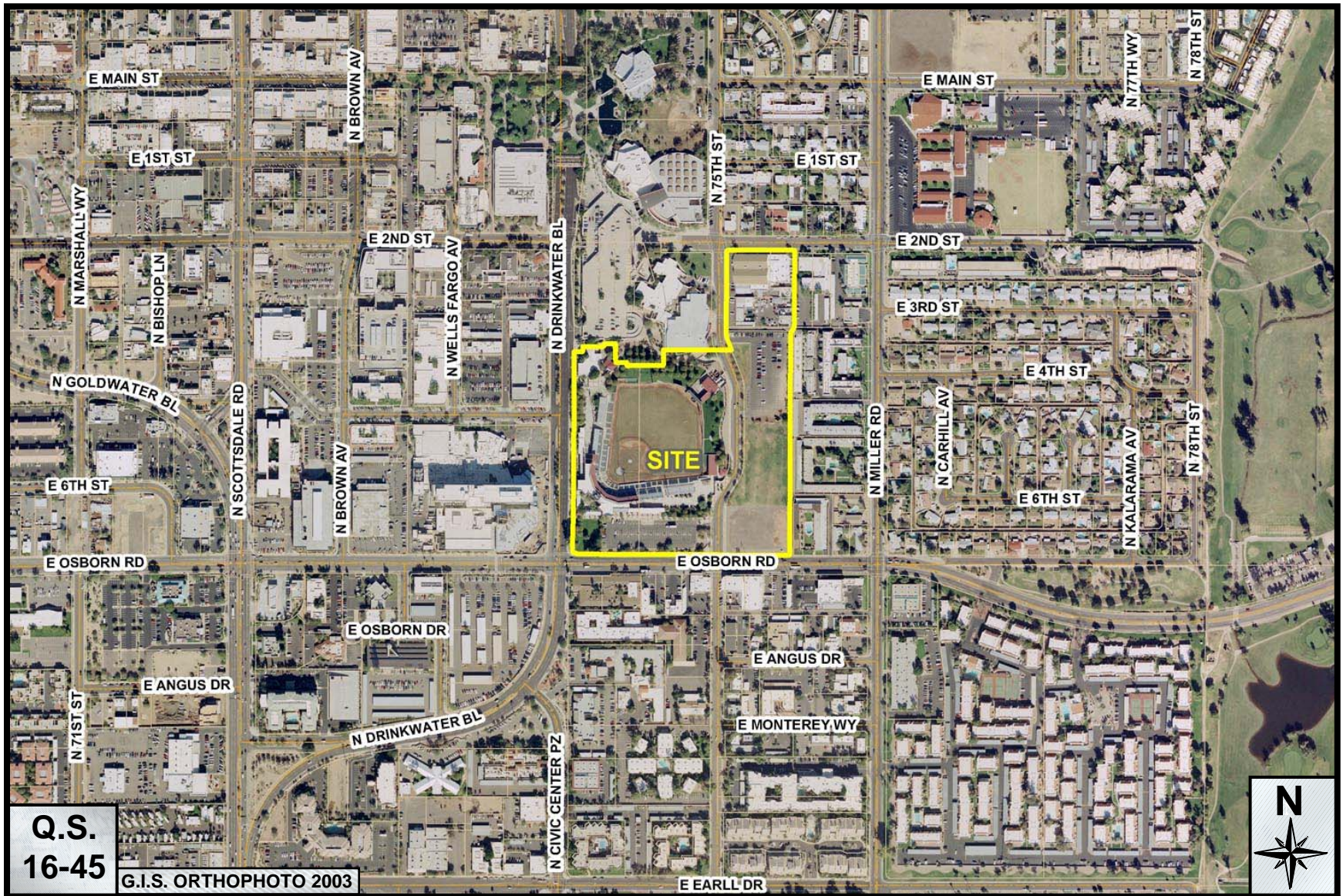
APPROVED BY

Bill Verschuren
Report Author

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ATTACHMENTS

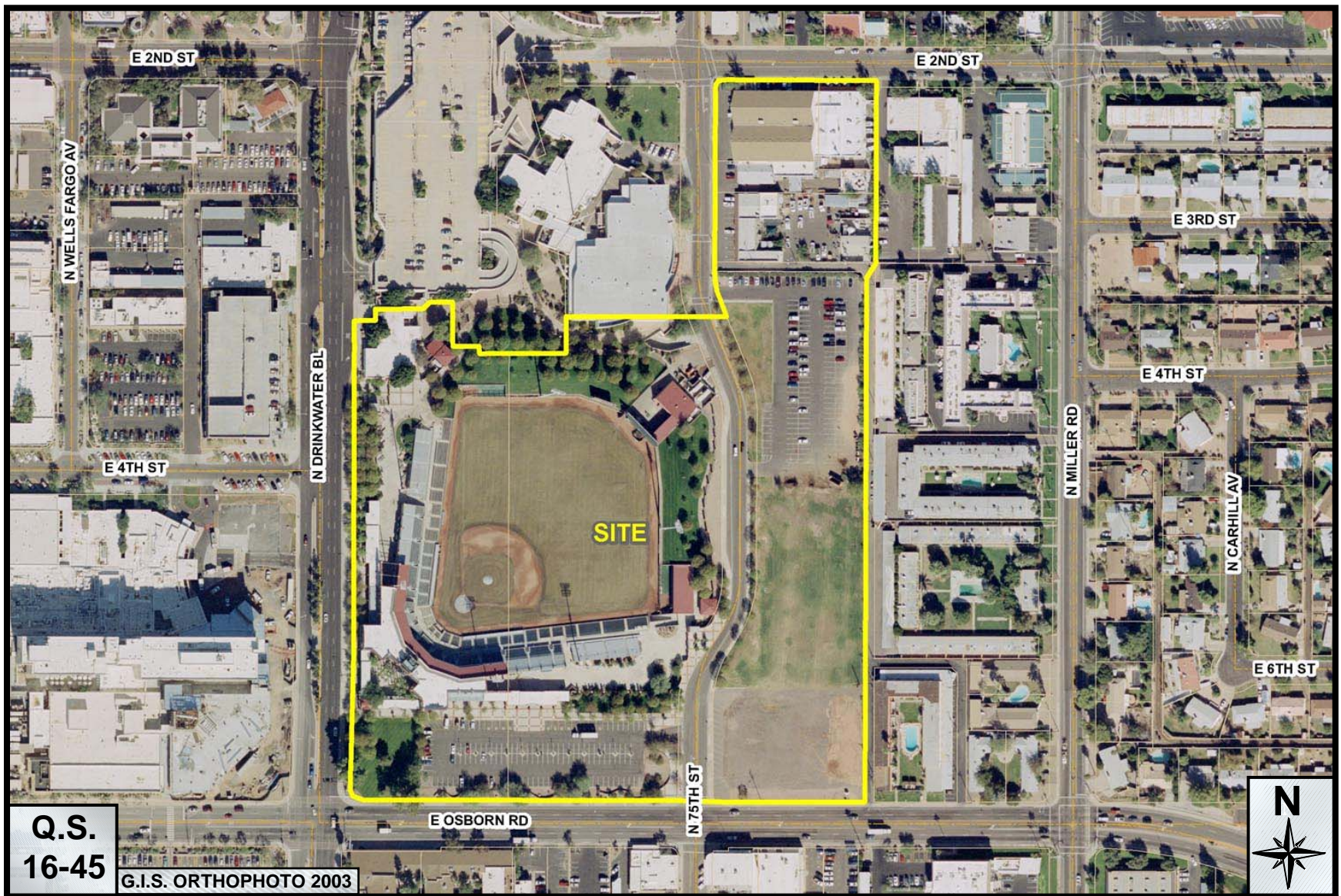
1. Context Aerial
2. Aerial Close-Up
3. Zoning Map
4. Overall Site Plan
5. Enlarged Site Plan of Practice Field/Upper Level
6. Enlarged Site Plan of South Entry/Parking and Clubhouse
7. Renovated Clubhouse Floor Plan
8. Team Store Elevations
9. Clubhouse Elevations
10. Streetscape from Osborn Rd.- Photo
11. Elevation from Osborn Road
12. Streetscape from alley on the east property line
13. Right Field Stair/Ramp Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Scottsdale Stadium Expansion

57-DR-1990#3

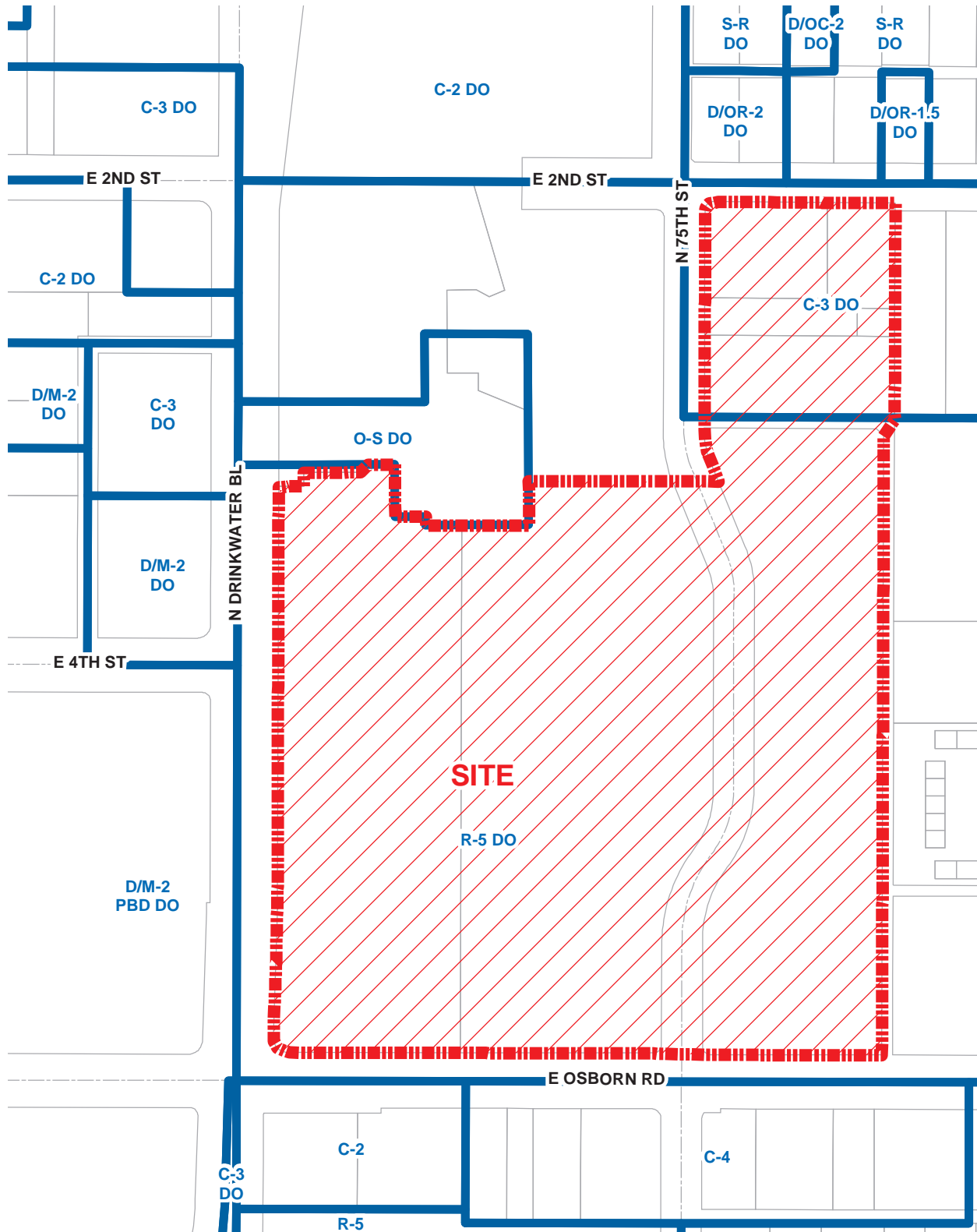
ATTACHMENT #2



Scottsdale Stadium Expansion

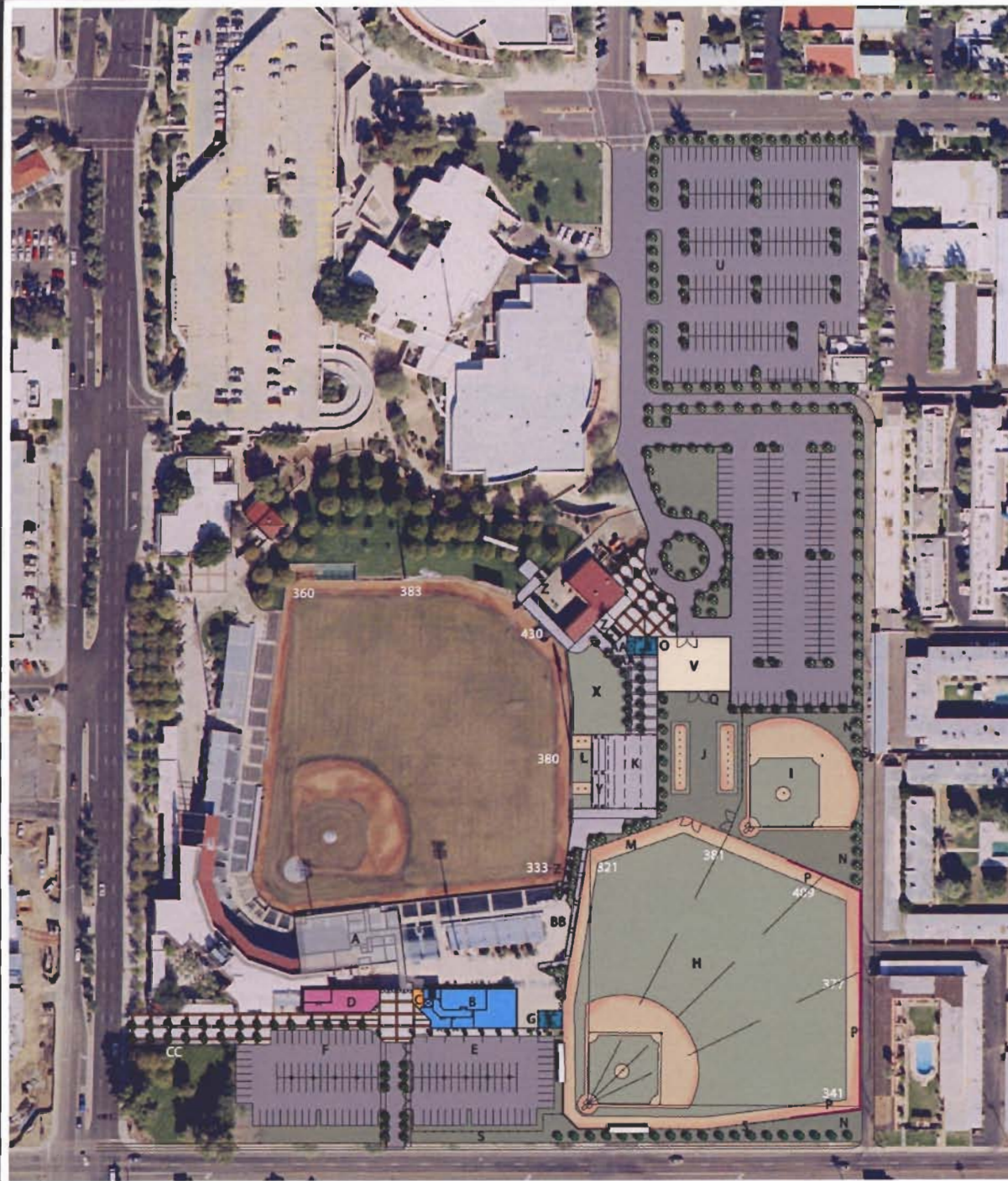
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ATTACHMENT #2A



57-DR-1990#3

ATTACHMENT #3



LEGEND

- A. Renovate Existing Clubhouse
- B. Expanded Clubhouse
- C. Relocated Tickets
- D. Relocated Team Store
- E. Secured Player Parking
- F. Surface Public Parking
- G. Player/Spectator Restroom
- H. Full Size Practice Field
- I. Half Practice Field
- J. Gang Mounds (8)
- K. Batting Tunnels (4) With Deck Above
- L. Bullpen
- M. Practice Wall (Integral With Field Wall)
- N. Landscape Buffer
- O. Restroom Building With Tickets @ Entry Level
- P. Practice Field Protective Netting With Maximum Height Of 75'-100'
- Q. Maintenance Vehicle Access
- R. Relocated Scoreboard
- S. Site Fencing
- T. Existing Civic Center Campus Parking
- U. Future Additional Civic Center Campus Parking
- V. Storage Area
- W. Bus Drop Off
- X. Berm Seating
- Y. Terraced Seating
- Z. Stair
- AA. Elevator
- BB. Ramp
- CC. Expanded Southwest Plaza

SCOTTSDALE SPRING TRAINING STADIUM SITE

0 50 100 200

HOK

03-18-05



LEGEND

- A. Deck Area
- B. Berm Area
- C. Restroom Building
- D. Connecting Walkway To Left Field Berm Area
- E. Full Size Practice Field
- F. Terraced Seating Area
- G. Bullpen
- H. Elevator
- I. Stair
- J. Ramp
- K. Storage
- L. Half Practice Field
- M. Gang Mounds (8)
- N. Maintenance Vehicle Access
- O. Existing Civic Center Campus Parking
- P. Bus Drop Off
- Q. Player/Spectator Restroom

SCOTTSDALE SPRING TRAINING STADIUM SITE ENLARGED RIGHT FIELD PLAN/UPPER LEVEL



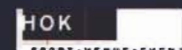
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LEGEND

- A. Renovate Existing Clubhouse
- B. Relocated Tickets
- C. Relocated Team Store
- D. Team Store Storage
- E. Stair
- F. Elevator
- G. Training Room
- H. Weight Training
- I. Entry/Lobby
- J. Equipment Storage
- K. Secured Player Parking
- L. Surface Public Parking
- M. Ramp
- N. Pedestrian Walk
- O. Full Size Practice Field
- P. Dugouts
- Q. Site Fencing
- R. Player/Spectator Restroom

SCOTTSDALE SPRING TRAINING • STADIUM SITE RECONFIGURED SOUTH ENTRY, PARKING, AND CLUBHOUSE





LEGEND

- A. Players' Locker Room
- B. Players' Grooming Area
- C. Coaches' Locker Room
- D. Coaches' Grooming Area
- E. Manager's Grooming Area
- F. Manager's Office/Locker Room
- G. Staff/Coaches' Meeting Room
- H. Laundry Room
- I. Videotape Room
- J. Press
- K. Clubhouse Manager's Office
- L. Stair
- M. Elevator/Lift
- N. Dining Area
- O. Electrical Room

SCOTTSDALE SPRING TRAINING
STADIUM SITE
RENOVATED CLUBHOUSE FLOOR PLAN
LOWER LEVEL



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Team Store/North Elevation



Team Store/East Elevation

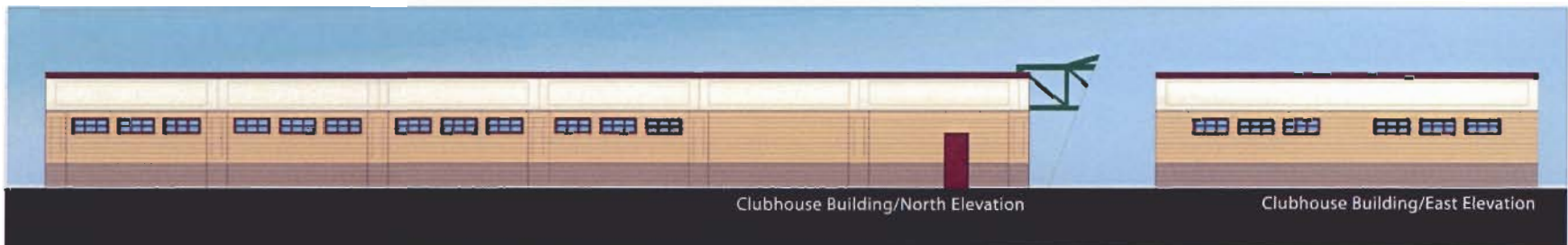


Team Store/South Elevation



Team Store/West Elevation

SCOTTSDALE SPRING TRAINING
STADIUM SITE
TEAM STORE ELEVATIONS



SCOTTSDALE SPRING TRAINING
STADIUM SITE
CLUBHOUSE ELEVATIONS



Existing Osborn Street Elevation



Proposed Osborn Street Elevation

SCOTTSDALE SPRING TRAINING
STADIUM SITE
OSBORN STREET ELEVATION

ATTACHMENT #11



SCOTTSDALE SPRING TRAINING
STADIUM SITE
OSBORN STREET ELEVATION



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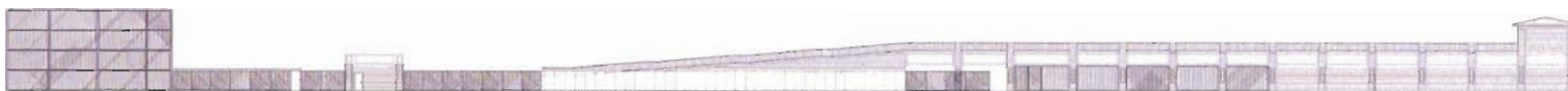
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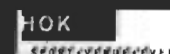
SCOTTSDALE SPRING TRAINING
STADIUM SITE
RIGHT FIELD ELEVATION



03-18-05



SCOTTSDALE SPRING TRAINING
STADIUM SITE
RIGHT FIELD STAIR/RAMP ELEVATION



03-18-05

SCOTTSDALE STADIUM - EXPANSION
7408 E. OSBORN RD.

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.

75TH ST. CUL-DE-SAC - S. FROM 2ND ST.
N. OF OSBORN TO CLUB
20 FT. ALLEY E. OF FIELD & N. FROM OSBORN
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☒ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☒ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☒ 7. SUBMIT PLANS FOR A CLASS "B" FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☐ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____
- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF 700 AT 1500 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4" (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF 3 FT. CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: STORAGE (ORD. HAZ. GP.2) FOOD PREP. ORD. HAZ. GP 1) MEETING RMS, DINING & TRAINING AREAS (LT. HAZ. COMM.) SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☒ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☒ G. PROVIDE AN ON-SITE LOOPED WATER MAIN SYSTEM.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Scottsdale Stadium Expansion Case 57-DR-1990#3

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Development Review Board approval shall be valid for 3 years from the time of approval.
2. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by HOK.
 - b. The location and configuration of all site improvements and landscaping shall be constructed to be consistent with the site plan submitted by HOK.

ARCHITECTURAL DESIGN:

DRB Stipulations

3. The City of Scottsdale's Executive Assistant for Special Projects shall approve any building elevation modifications.
4. All new and proposed building modifications shall match the colors and materials of the existing stadium.
5. The face of the new service entrance section(s) shall be flush with the building façade and painted to match the building.
6. All new exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
7. All exterior conduit and raceways shall be painted to match the building.
8. No exterior roof ladders shall be allowed where they are visible to the public from an off-site location.
9. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
10. All wall enclosures for refuse bins or trash compactors shall be constructed of materials that are consistent with the building(s) on the site in terms of color, texture, and material finish.
11. All walls shall match the architectural color, materials and finish of the building(s).
12. All new wrought iron fencing and walls shall be consistent with those currently on site.
13. Practice field protective netting shall be lightweight material with a transparent appearance.

SITE DESIGN:**DRB Stipulations**

14. The City of Scottsdale's Executive Assistant for Special Projects shall approve any site plan modifications.
15. New hardscape shall be consistent with existing materials and layout.
16. Chain link fencing utilized adjacent to public activity areas shall be vinyl coat with a color that is consistent with the stadiums accent green to the satisfaction of City of Scottsdale's Executive Assistant for Special Projects.
17. The City of Scottsdale's Executive Assistant for Special Projects shall approve the locations of the vinyl coated chain link fence.

Ordinance

- A. All fencing shall be located 10-feet north of the Osborn Road property line.

LANDSCAPE DESIGN:**DRB Stipulations**

18. The City of Scottsdale's Executive Assistant for Special Projects shall approve any landscape modifications.
19. New plant material shall be consistent with plant material currently utilized within the Civic Center Campus.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

20. All new exterior building mounted and site lighting fixtures shall be consistent with those currently on site.
21. All new exterior light poles, pole fixtures, and yokes, including bollards (when utilized) shall be consistent with the those currently on site.
22. Incorporate into the project's design, the following:

Parking Lot and Site Lighting (not including the existing stadium field lighting):

- a. The maintained average horizontal illuminance level, at grade on the site, shall not exceed 2.5 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10.00 foot-candles. All exterior luminaries shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.

Landscape Lighting:

- d. All landscape lighting directed upward shall utilize extension visor shields to limit the view of the lamp source.
- e. Landscaping lighting shall only be utilized to accent plant material.
- f. All landscape lighting directed upward, shall be aimed away from property line.
- g. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- h. The landscape lighting lamp shall not exceed 70 watts.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

23. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.
24. The bike racks that are currently located at the southeast entrance shall be relocated adjacent to the proposed northeast entrance.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

25. Flagpoles, if provided, shall be one piece, conical, and tapered.

RELEVANT CASES:

Ordinance

- B. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 57-DR-1990, 57-DR-1990#2, 23-SA-1998, 309-SA-2000, 38-SA-2001.

ENGINEERING

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

26. Storm drains to manage excess site runoff shall be connected to the existing Osborn Road storm drain.
27. The above mentioned storm drains shall incorporate NPDES best management practices.
28. Fencing to pass significant flood events with no reduction in conveyance capacity.

TRANSPORTATION:

DRB Stipulations

29. The alley east of the existing Street and south of Glendora Avenue shall be maintained.
30. The entry off of Osborn Road shall be 24 ft. wide.